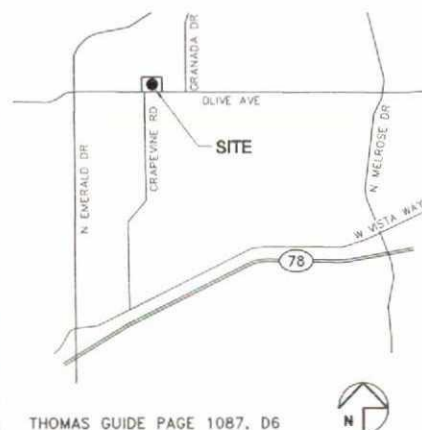




OLIVE / GRAPEVINE
OLIVE SD

1505 OLIVE AVE
UNINCORPORATED VISTA, CA 92083

VICINITY MAP



THOMAS GUIDE PAGE 1087, D6

ADDRESS

1505 OLIVE AVE
VISTA, CA 92083

DIRECTIONS:

(FROM VZW'S OFFICES IN IRVINE):
I-5 SOUTH TO 78 EAST. TAKE THE EMERALD DRIVE EXIT. HEAD
NORTH TO OLIVE AVENUE. TURN RIGHT ON OLIVE AVENUE AND
HEAD EAST. THE SITE IS ON THE LEFT (NORTH) SIDE OF OLIVE
AVENUE.

CONSULTANT TEAM

ARCHITECT:

BOOTH & SUAREZ ARCHITECTURE INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8596 (FAX)

LEASING/PLANNING:

PLANCOM, INC.
RODNEY PHILHOWER
302 STATE PLACE
ESCONDIDO, CA 92029
(619) 200-2260

SURVEYOR:

JRN CIVIL ENGINEERS
232 AVENIDA FABRICANTE, SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

PROJECT SUMMARY

APPLICANT:

VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
CONTACT: RODNEY PHILHOWER
PHONE: (619) 200-2260

OWNER:

OLIVE 1505 VISTA, LLC
1505 OLIVE AVE
VISTA, CA 92083
SITE CONTACT: LLOYD TOPZAND
PHONE: (707) 774-3642

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A NEW 22'-0" x 12'-0" x 13'-9" HIGH STICK BUILT EQUIPMENT BUILDING WITH WOOD SIDING AND ASPHALT SHINGLE ROOF ON A CONCRETE PAD.
- INSTALLATION OF NEW 15'-0" x 12'-0" x 12'-0" HIGH CONCRETE BLOCK WALL ENCLOSURE WITH WOOD SIDING, CHAIN LINK LID AND TRELLIS AT GRADE LEVEL.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED ON A NEW 35'-0" HIGH FAUX EUCALYPTUS.
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRU'S) MOUNTED BEHIND PROPOSED ANTENNAS.
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" MICROWAVE DISH (FOR TELCO SERVICE FEED) MOUNTED TO PROPOSED 35'-0" HIGH FAUX EUCALYPTUS.
- PROPOSED (3) RAYCAP DC SURGE PROTECTION UNITS MOUNTED ON PROPOSED 35'-0" HIGH FAUX EUCALYPTUS AND (2) RAYCAP DC SURGE PROTECTION UNITS MOUNTED INSIDE PROPOSED STICK BUILT BUILDING (TOTAL OF 5 RAYCAP UNITS).
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS.
- INSTALLATION OF A 30KW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE PROPOSED CONCRETE BLOCK EQUIPMENT ENCLOSURE.
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE (TOTAL ELECTRICAL LENGTH = ±420'-0").
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION (TOTAL TELCO LENGTH = ±435'-0").
- MINOR LANDSCAPING AND IRRIGATION IS PLANNED FOR THIS PROJECT.

PROJECT ADDRESS: 1505 OLIVE AVE
VISTA, CA 92083

ASSESSORS PARCEL NUMBER: 162-493-22

EXISTING ZONING: R-1 SINGLE FAMILY

TOTAL SITE AREA: 139,112 S.F.
= 3.19 ACRES

PROPOSED PROJECT AREA:

EQUIPMENT BUILDING: 264 SF
CONCRETE BLOCK ENCLOSURE: 180 SF
ANTENNA GROUND LEASE AREA: 49 SF
TOTAL: 493 SF

PROPOSED TYPE OF

CONSTRUCTION: TYPE VB

PROPOSED OCCUPANCY: B

NOTE: THERE ARE NO EXISTING TELECOMMUNICATIONS FACILITIES ON THIS SITE.

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-1	EQUIPMENT FLOOR PLAN
A-2	ROOF, TRELLIS AND CHAIN LINK LID PLAN
A-3	EXTERIOR ELEVATIONS
A-4	ANTENNA PLAN & FAUX EUCALYPTUS ELEVATION
C-1	TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THAT PORTION OF SECTION 33, TOWNSHIP 11 SOUTH, RANGE 2 WEST, AND OF SECTION 4, TOWNSHIP 12 SOUTH, RANGE 2 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO OFFICIAL PLAT THEREOF, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
CALIFORNIA PLUMBING CODE, 2010 EDITION
CALIFORNIA MECHANICAL CODE, 2010 EDITION
CALIFORNIA ELECTRICAL CODE, 2010 EDITION
CALIFORNIA FIRE CODE, 2010 EDITION
CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

BOOTH &
SUAREZ

ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
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PROJECT NAME

OLIVE / GRAPEVINE
OLIVE SD

1505 OLIVE AVENUE
VISTA, CA 92083

SAN DIEGO COUNTY

DRAWING DATES

10/25/13	90% ZD (dn)
10/29/13	100% ZD (ic)
11/11/13	100% ZD Revision 1 (ic)
11/13/13	100% ZD Revision 2 (ic)
12/30/13	100% ZD Revision 3 (se)
01/30/14	100% ZD Revision 4 (rd)
02/24/14	100% ZD Revision 5 (hc)
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06/12/14	100% ZD Revision 11 (ic)
06/26/14	100% ZD Revision 12 (ic)
07/07/14	100% ZD Revision 13 (ic)

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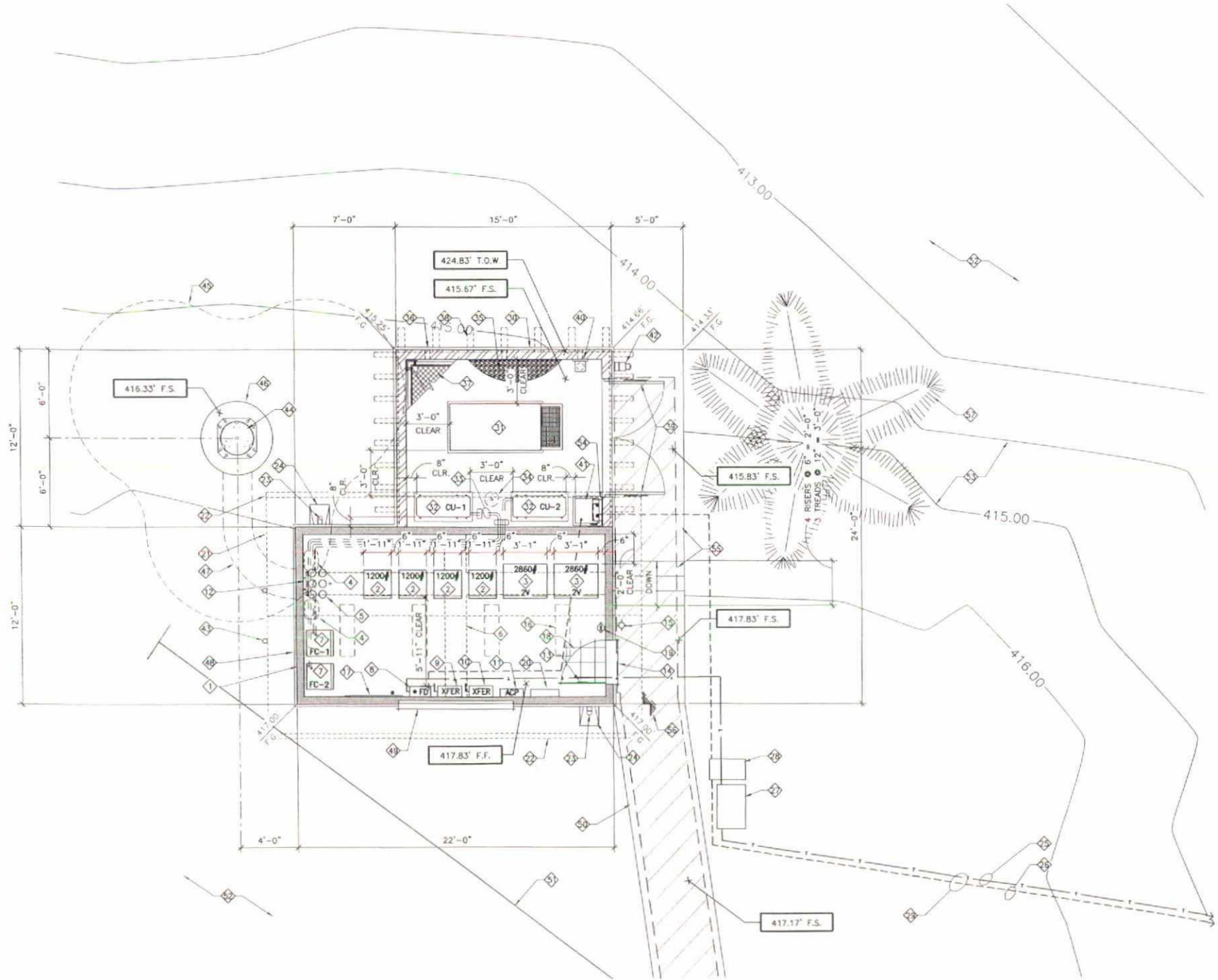
TITLE SHEET
&
PROJECT DATA

PROJECTS\VERIZON\13308

SDC PDS RCVD 7-17-14

MUP14-003

T-1



EQUIPMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



EQUIPMENT FLOOR PLAN NOTES:

1. PROPOSED VERIZON WIRELESS EQUIPMENT INSIDE A NEW STICK BUILT EQUIPMENT BUILDING (SHOWN SHADED) (NOISE CONTROL FEATURE)
2. PROPOSED VERIZON WIRELESS EQUIPMENT RACK 23" WIDE x 84" HIGH x 23" DEEP, WEIGHT: 1200 LBS. (4 TOTAL)
3. PROPOSED VERIZON WIRELESS 2V BATTERY RACK 37" WIDE x 37.66" HIGH x 27.88" DEEP, WEIGHT: 2860 LBS.
4. PROPOSED RAYCAP DC SURGE PROTECTION UNITS UNISTRUT MOUNTED TO WALL (TYPICAL OF 2)
5. PROPOSED (6) 6" CONDUITS FOR COAX CABLE AND (1) 1-1/2" FOR GROUND
6. PROPOSED OVERHEAD 18" CABLE LADDER @ 8'-0" (SHOWN DASHED)
7. PROPOSED AIR HANDLERS
8. PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
9. PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
10. PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
11. PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
12. PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
13. PROPOSED 3'-0" WIDE WOOD DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
14. PROPOSED ALUMINUM THRESHOLD
15. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
16. PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 4)
17. PROPOSED WALL MOUNTED TELCO BOARD
18. PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES, EXCELON #51973 MONO WHITE WITH 4" COVER BASE
19. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
20. PROVIDE AND INSTALL BATTERY ACID SPILL KIT(S) CAPABLE OF NEUTRALIZING A SPILL FROM THE LARGEST BATTERY
21. PROPOSED ASPHALT SHINGLE ROOF ABOVE (SHOWN DASHED)
22. PROPOSED GUTTER ABOVE (SHOWN DASHED)
23. PROPOSED DOWNSPOUT FOR ROOF DRAIN
24. PROPOSED SPLASH BLOCK
25. PROPOSED 4" TELCO CONDUIT IN AN UNDERGROUND UTILITY TRENCH
26. PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND UTILITY TRENCH
27. PROPOSED 2'-0" x 3'-0" TELCO PULL BOX
28. PROPOSED 17" x 30" ELECTRICAL PULL BOX
29. PROPOSED UNDERGROUND JOINT UTILITY TRENCH
30. PROPOSED CONCRETE BLOCK WALL ENCLOSURE, DETAIL & PAINT TO MATCH PROPOSED BUILDING. THE CMU WALL IS CONSIDERED A NOISE CONTROL FEATURE.
31. PROPOSED VERIZON WIRELESS 30KW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD, "GENERAC" 50030 GENERATOR UNIT OR EQUIVALENT SIZED UNIT WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 64 DBA AT A REFERENCE DISTANCE OF 23 FEET. THE GENERATOR UNIT SHALL INCORPORATE A MANUFACTURER LEVEL 2 ACOUSTIC ENCLOSURE.
32. PROPOSED OUTDOOR CONDENSER UNIT (CARRIER MODEL 38HRD60 WITH 72 DBA SOUND LEVEL OR EQUIVALENT SIZED UNIT) MOUNTED ON A CONCRETE PAD (TYPICAL OF 2)
33. PROPOSED REFRIGERANT LINE ROUTING
34. PROPOSED DRYWELL
35. INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER WITHIN ENTIRE EQUIPMENT COMPOUND
36. PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAIN (TYPICAL OF 3)
37. PROPOSED CHAINLINK LID
38. PROPOSED WOOD TRELLIS ABOVE FOR AESTHETICS (SHOWN DASHED)
39. PROPOSED PAIR 4'-0" WIDE STEEL GATES W/ FRAME & SIGNAGE. THE GATE/DOOR SHALL BE DESIGNED WITH NO CRACKS OR GAPS THROUGH OR BELOW. OVERLAPPING CLOSURES ON THE BOTTOM AND SIDES SHALL BE INCORPORATED INTO THE DESIGN.
40. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER INSIDE A NEMA 3R CABINET
41. PROPOSED VERIZON WIRELESS STEP-DOWN ELECTRICAL TRANSFORMER ON A CONCRETE PAD
42. PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
43. PROPOSED E911/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
44. PROPOSED 35'-0" HIGH FAUX EUCALYPTUS
45. PROPOSED FAUX EUCALYPTUS CANOPY (SHOWN DASHED)
46. PROPOSED FAUX EUCALYPTUS CAISSON FOOTING
47. PROPOSED COAX CABLE TRENCH, PRELIMINARY COAX CABLE ROUTE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY DURING CONSTRUCTION
48. PROPOSED WOOD SIDING
49. PROPOSED WINDOW WITH NON-REFLECTIVE MATERIAL
50. PROPOSED GRAVEL WALKWAY
51. EXISTING ABANDONED LEACH LINE PER SHEET A-0
52. EXISTING LANDSCAPE AREA
53. EXISTING CONTOUR LINES @ 1'-0" INTERVALS (TYPICAL)
54. PROPOSED NON-FUSED DISCONNECT SWITCH
55. PROPOSED CONCRETE STEPS & LANDING
56. INDICATES 8" STEP
57. EXISTING PALM TREE

PREPARED FOR
verizonwireless
P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

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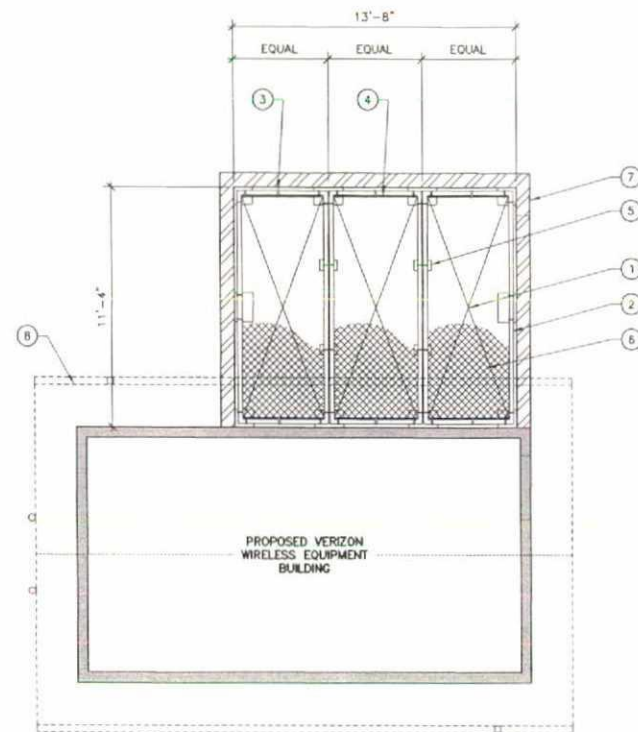
PROJECT NAME
OLIVE / GRAPEVINE
OLIVE SD
1505 OLIVE AVENUE
VISTA, CA 92083
SAN DIEGO COUNTY

DRAWING DATES

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06/26/14	100% ZD Revision 12 (ic)
07/07/14	100% ZD Revision 13 (ic)

SHEET TITLE
EQUIPMENT FLOOR PLAN

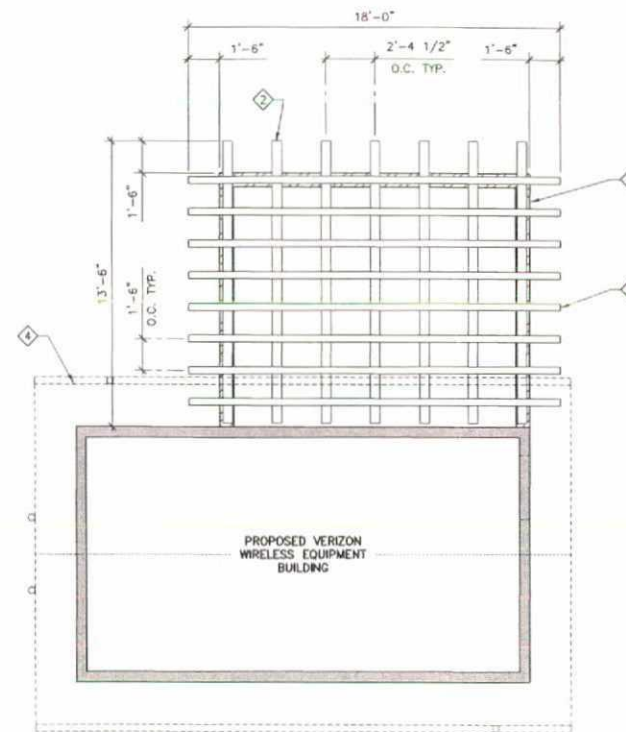
PROJECTS: VERIZON\13308



CHAIN LINK LID PLAN
SCALE: 1/4" = 1'-0"

CHAIN LINK LID PLAN NOTES:

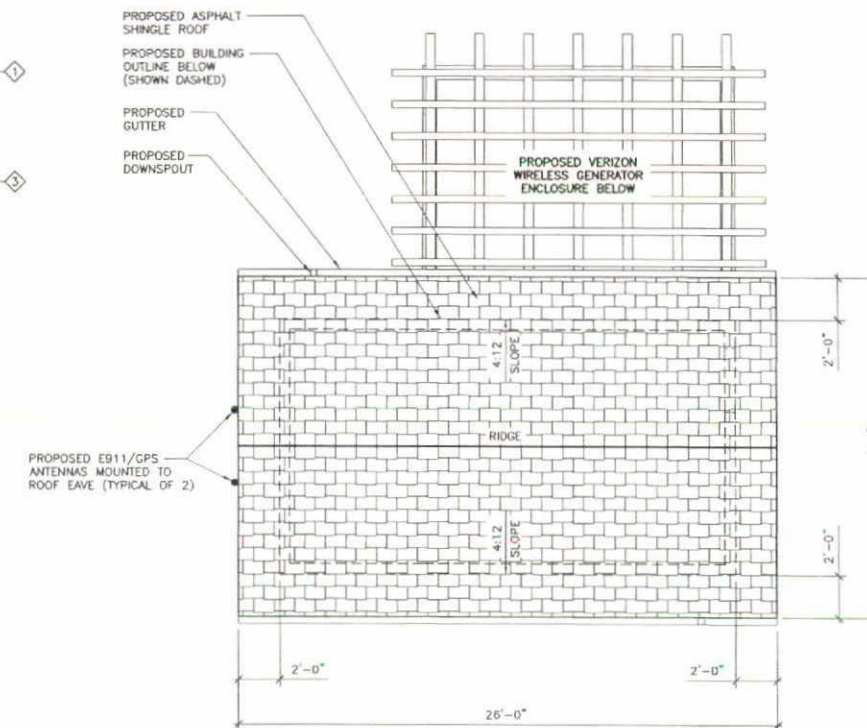
- 1 "X" INDICATES A SINGLE PANEL OF THE CHAINLINK LID
- 2 PROPOSED 3" SCHEDULE 40 GALVANIZED STANDARD PIPE FRAME (TYPICAL)
- 3 PROPOSED GALVANIZED STEEL PIPE CLAMPS FOR CHAINLINK TENSIONER STRIP
- 4 PROPOSED GALVANIZED TENSIONER STRIP (TYPICAL)
- 5 PROPOSED BRACKET SUPPORT CLAMP FOR CHAINLINK LID AT 4'-0" O.C.
- 6 PROPOSED GALVANIZED CHAINLINK MESH PARTIALLY REMOVED FOR CLARITY. PROVIDE STANDARD WIRE TIES TO FRAME @ 12" O.C. WITH DOUBLE KNOTS ON BOTTOM SIDE OF FRAME. SEE SPECIFICATION THIS SHEET
- 7 PROPOSED CONCRETE BLOCK WALL (NOISE CONTROL FEATURE)
- 8 PROPOSED ADJACENT BUILDING ROOF OVERHANG



TRELLIS PLAN
SCALE: 1/4" = 1'-0"

TRELLIS PLAN NOTES:

- 1 PROPOSED CONCRETE BLOCK ENCLOSURE WALL BELOW
- 2 PROPOSED 6 x 12 WOOD BEAMS (TYPICAL)
- 3 PROPOSED 4 x 6 AT 18" O.C. (TYPICAL)
- 4 PROPOSED ADJACENT BUILDING ROOF OVERHANG



ROOF PLAN
SCALE: 1/4" = 1'-0"

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED

355 CARLSBAD VILLAGE DRIVE SUITE D7
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

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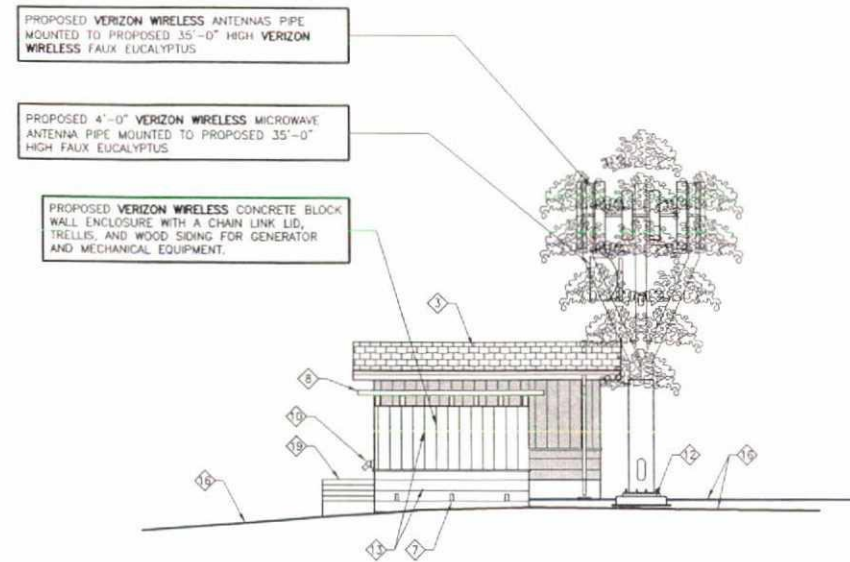
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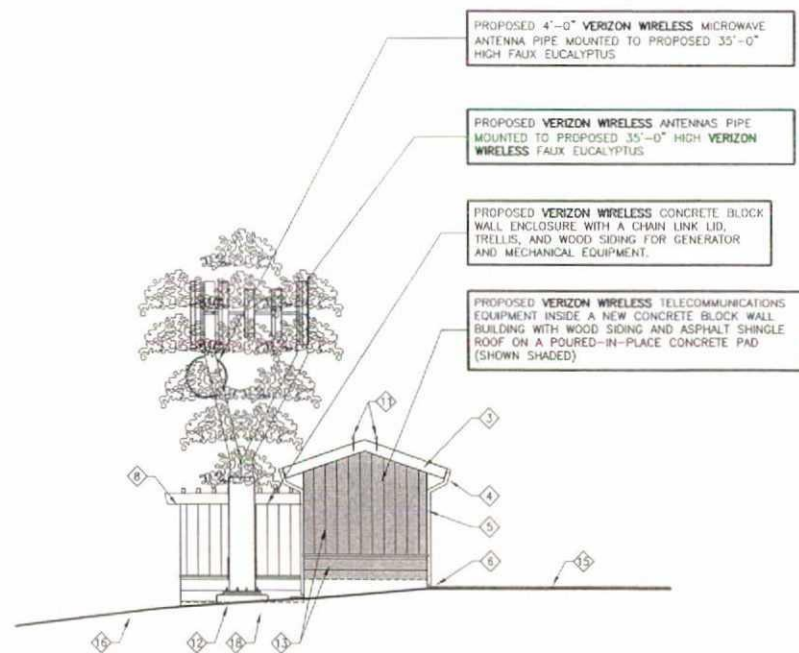
ROOF PLAN,
TRELLIS PLAN &
CHAIN LINK LID PLAN

PROJECTS\VERIZON\13308

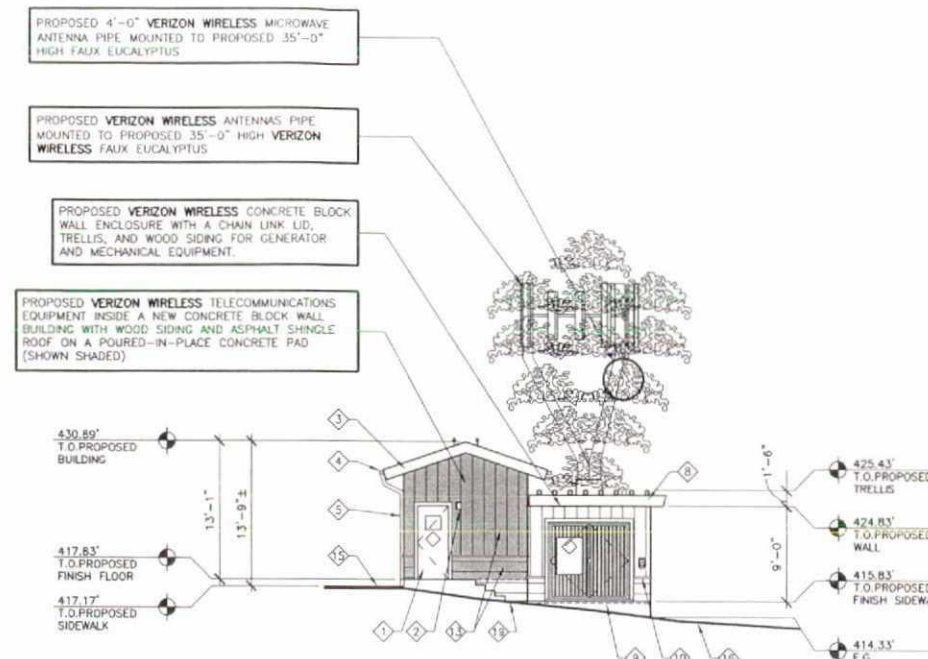
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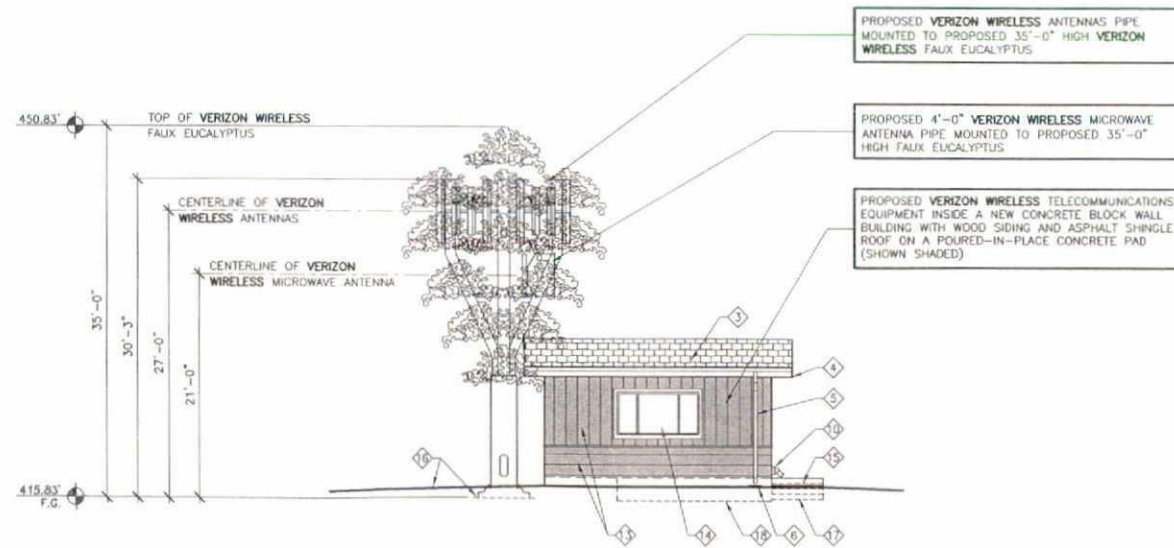
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

1. PROPOSED 3'-0" WIDE WOOD DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
2. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
3. PROPOSED ASPHALT SHINGLE ROOF
4. PROPOSED GUTTER
5. PROPOSED DOWNSPOUT
6. PROPOSED SPLASH BLOCK
7. PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAIN (TYPICAL OF 3)
8. PROPOSED WOOD TRELLIS FOR AESTHETICS
9. PROPOSED PAIR 4'-0" WIDE STEEL GATES W/ FRAME & SIGNAGE. THE PROPOSED GATES SHALL BE DESIGNED WITH OVERLAPPING ENCLOSURES ON THE BOTTOM AND SIDES TO ENSURE NO GAPS BELOW OR THROUGH THE GATE DESIGN. ALL WEATHER STRIPS MAY BE USED TO FILL ALL GAPS OF THE GATE DOORS.
10. PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
11. PROPOSED E911/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
12. PROPOSED FAUX EUCALYPTUS CAISSON FOOTING
13. PROPOSED WOOD SIDING
14. PROPOSED WINDOW WITH NON-REFLECTIVE MATERIAL
15. PROPOSED GRAVEL WALKWAY
16. EXISTING GRADE
17. PROPOSED CONCRETE STEPS BEYOND
18. PROPOSED FINISH FLOOR/SURFACE BEYOND
19. PROPOSED CONCRETE STEPS & LANDING

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
355 CARLSBAD VILLAGE DRIVE SUITE D3
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR



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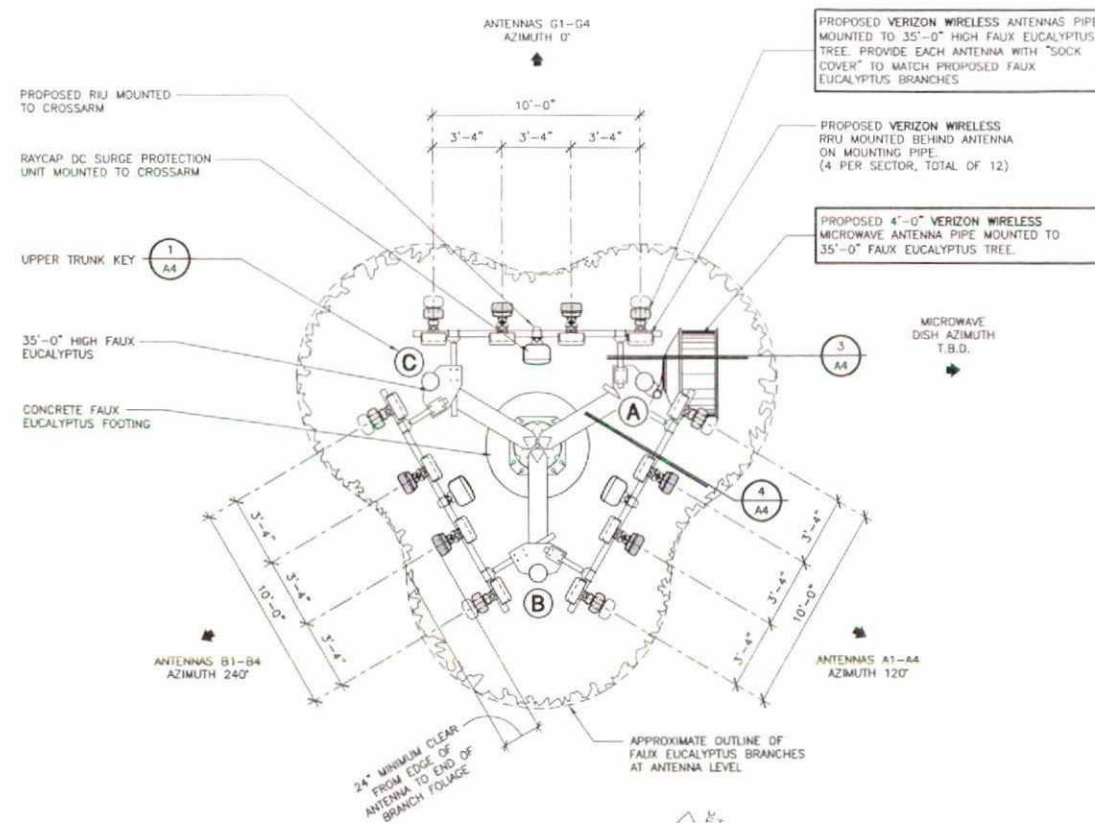
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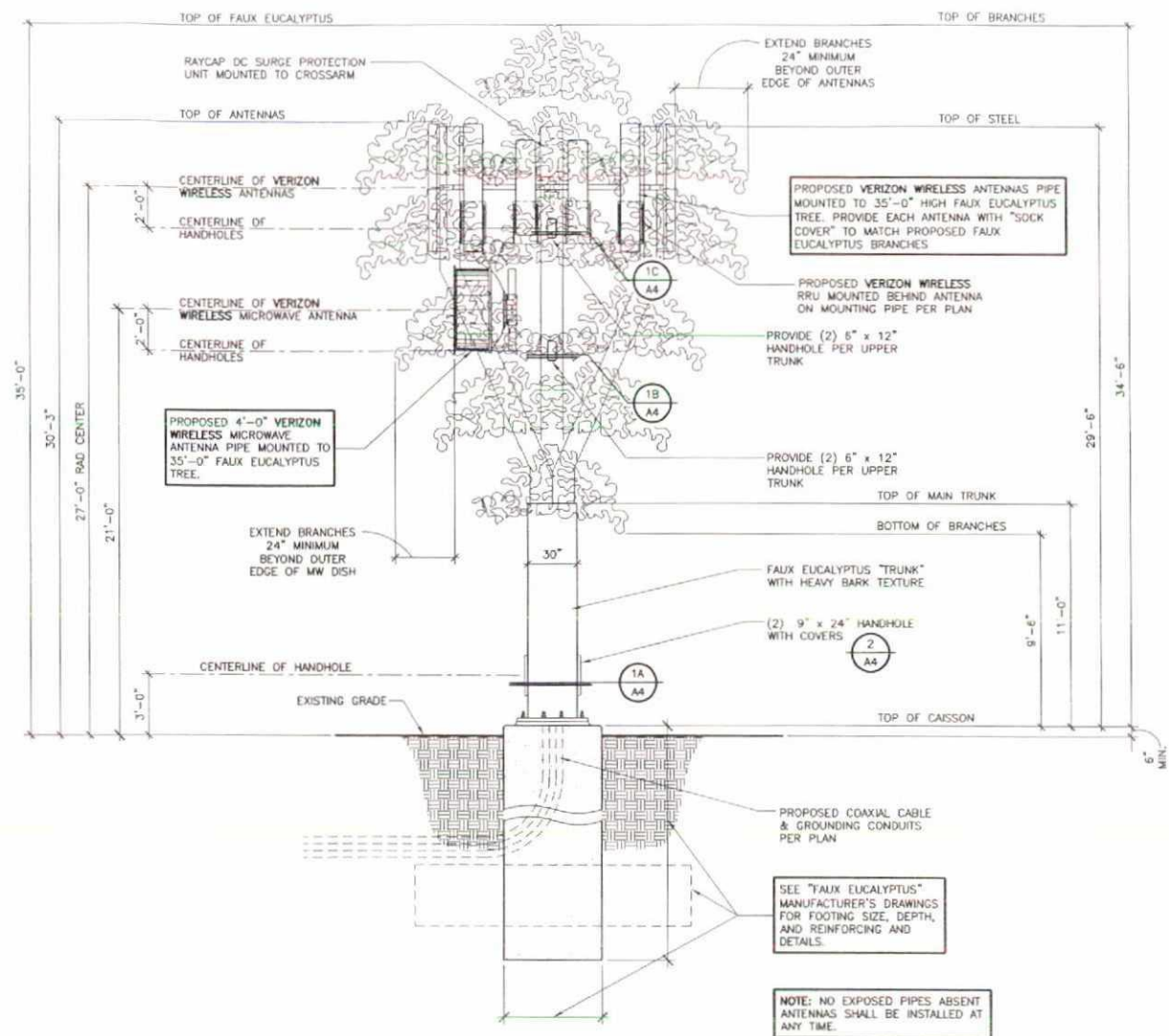
EXTERIOR ELEVATIONS

PROJECTS\VERIZON\13308

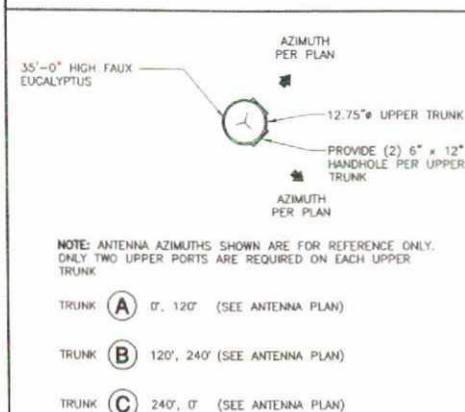
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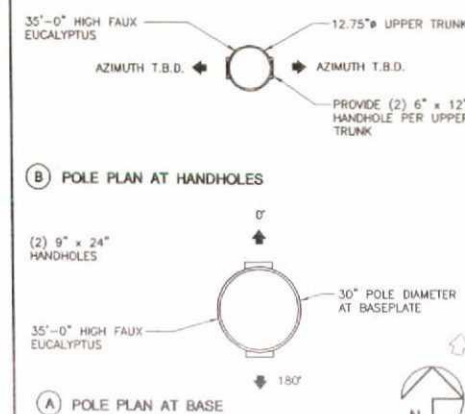
ANTENNA PLAN
SCALE: 1/4" = 1'-0"



FAUX EUCALYPTUS ELEVATION
SCALE: 1/4" = 1'-0"

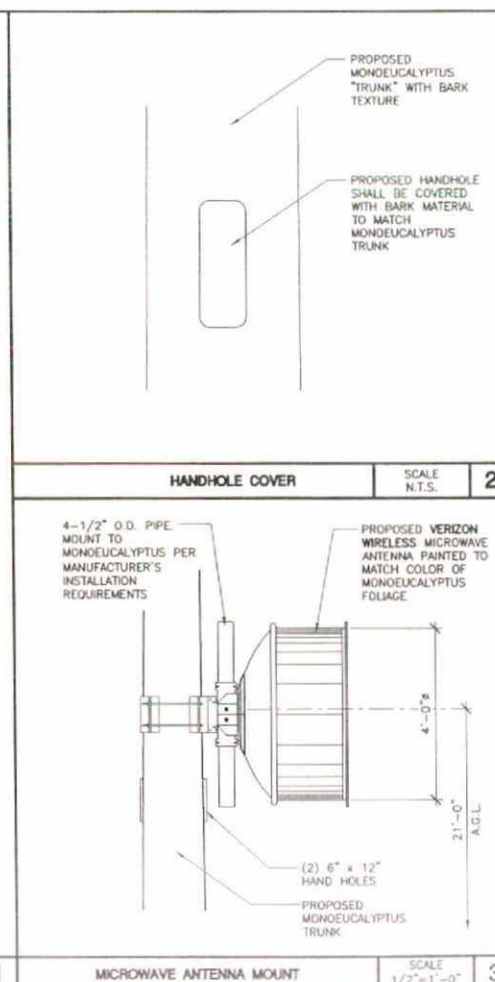


(C) POLE PLAN AT HANDHOLES



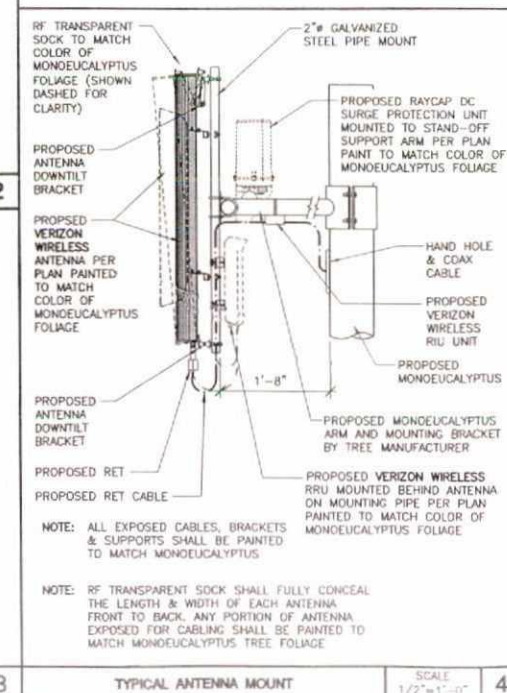
FAUX EUCALYPTUS DETAIL

SCALE: 1/2" = 1'-0"



MICROWAVE ANTENNA MOUNT

SCALE: 1/2" = 1'-0"



TYPICAL ANTENNA MOUNT

SCALE: 1/2" = 1'-0"

SECTOR	DIRECTION	AZIMUTH	DOWNTILT	SKW	ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX. SIZE
ALPHA1						78" L x 15" W x 9.5" D	6 COAX			
ALPHA2						78" L x 15" W x 9.5" D	3 COAX			
ALPHA3	SOUTHEAST	120°	0°	N/A		78" L x 15" W x 9.5" D	3 HYBRID & 4 RET CABLES	50'-0"	6'-0"	7/8"
ALPHA4						78" L x 15" W x 9.5" D	6 COAX			
BETA1						78" L x 15" W x 9.5" D	3 COAX			
BETA2						78" L x 15" W x 9.5" D	3 HYBRID & 4 RET CABLES	50'-0"	6'-0"	7/8"
BETA3	SOUTHWEST	240°	0°	N/A		78" L x 15" W x 9.5" D	3 COAX			
BETA4						78" L x 15" W x 9.5" D	3 HYBRID & 4 RET CABLES	50'-0"	6'-0"	7/8"
GAMMA1						78" L x 15" W x 9.5" D	6 COAX			
GAMMA2						78" L x 15" W x 9.5" D	3 COAX			
GAMMA3	NORTH	0°	0°	N/A		78" L x 15" W x 9.5" D	3 HYBRID & 4 RET CABLES	50'-0"	6'-0"	7/8"
GAMMA4						78" L x 15" W x 9.5" D	6 COAX			
MICROWAVE DISH	T.B.D.					4'-0" DIAMETER	1	45'-0"		1 1/4"

BOOTH SUAREZ &
ARCHITECTURE :: INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE B9
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR
verizonwireless
P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
OLIVE / GRAPEVINE
OLIVE SD
1505 OLIVE AVENUE
VISTA, CA 92083
SAN DIEGO COUNTY

10/25/13	90% ZD (dn)
10/29/13	100% ZD (ic)
11/11/13	100% ZD Revision 1 (ic)
11/13/13	100% ZD Revision 2 (ic)
12/30/13	100% ZD Revision 3 (se)
01/30/14	100% ZD Revision 4 (rd)
02/24/14	100% ZD Revision 5 (hc)
03/24/14	100% ZD Revision 6 (hc)
04/10/14	100% ZD Revision 7 (ic)
04/17/14	100% ZD Revision 8 (hc)
04/23/14	100% ZD Revision 9 (se)
05/28/14	100% ZD Revision 10 (ic)
06/12/14	100% ZD Revision 11 (ic)
06/26/14	100% ZD Revision 12 (ic)
07/07/14	100% ZD Revision 13 (ic)

SHEET TITLE
FAUX EUCALYPTUS
TREE ELEVATION
& ANTENNA PLAN

PROJECTS\VERIZON\13308

A-4

BOUNDARY DETAIL:

SCALE: 1" = 60'



DATE OF SURVEY:
OCTOBER 10, 2013

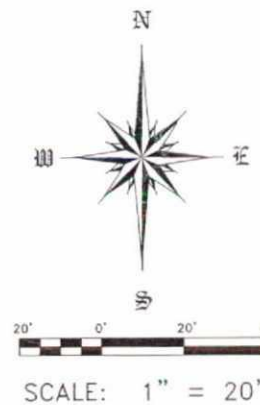
ASSESSOR'S PARCEL NUMBER:
162-493-22

DATUM STATEMENT:
BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM, ZONE 6, NAD 83 (NRS2007) - EPOCH 2013.250 AS DERIVED THROUGH FIXED RTK OBSERVATIONS RCTM VRS CORRECTED THROUGH SMARTNET.

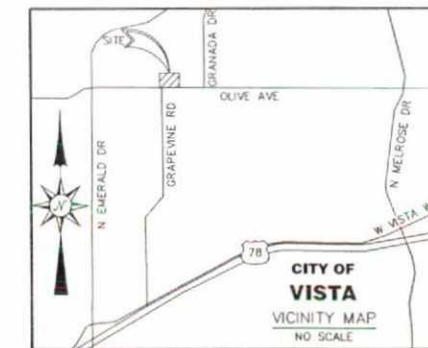
BENCHMARK:

ELEVATIONS SHOWN HEREON ARE BASED ON ORTHOMETRIC ELEVATIONS DERIVED BY GPS OBSERVATIONS USING THE GEOD12A MODELING CONVERSION AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY.



COORDINATES:

LATITUDE: 33°12'19.556" N
LONGITUDE: 117°16'22.624" W
DATUM: NAD83



LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 11 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY DECEMBER 17, 1870, EXCEPTING THEREFROM THE EASTERLY 429.00 FEET, THE WESTERLY 680.23 FEET, MEASURED ALONG THE NORTH AND SOUTH LINES OF SAID NORTHWEST QUARTER, AND ALL THAT PORTION LYING NORTHERLY OF THE NORTHERLY RAILWAY RIGHT OF WAY LINE.

ALSO EXCEPTING THEREFROM THAT PORTION LYING WITHIN PARCEL MAP 7815 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 13, 1978 AS FILE NO. 78-390738 OF OFFICIAL RECORDS.

ASSESSOR'S PARCEL NUMBER: 162-493-22

ITEMS CORRESPONDING TO SCHEDULE "B":

BY: COMMONWEALTH LAND TITLE COMPANY
4100 NEWPORT BLVD., SUITE 120
NEWPORT BEACH, CA 92660
(949) 724-0706

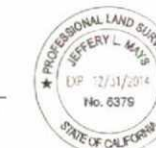
COMMITMENT NO.: 08020490
TITLE OFFICER: CHRIS MAZIAN
DATED: SEPTEMBER 18, 2013

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
2. EASEMENTS FOR CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REBUILDING OR INSPECTING PIPE LINES AND NECESSARY APPURTENANCES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED IN BOOK 1131 PAGE 139 OF DEEDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD AND IS NOT PLOTTED HEREON.
3. EASEMENTS FOR PUBLIC UTILITY EASEMENTS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED APRIL 4, 1941 IN BOOK 1222 PAGE 157 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY, THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD AND IS NOT PLOTTED HEREON.
4. EASEMENTS FOR CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING AND REBUILDING OR INSPECTING ALL PIPE LINES AND NECESSARY APPURTENANCES AND MEASURING DEVICES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED FEBRUARY 5, 1943 IN BOOK 1469 PAGE 3 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD AND IS NOT PLOTTED HEREON.
5. EASEMENTS FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED APRIL 24, 1951 IN BOOK 4071 PAGE 75 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY, IT CALLS OUT THE WEST LINE OF THE NORTHWEST 1/4 OF SECTION 23 WITH NO WIDTH GIVEN AND IS NOT PLOTTED HEREON.
6. EASEMENTS FOR PUBLIC STREET AND UTILITY EASEMENT TOGETHER WITH A PERMANENT AND PERPETUAL EASEMENT AND RIGHT TO CONSTRUCT, RECONSTRUCT AND EXTEND BOTH CUT AND FILL SLOPES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED MARCH 3, 2000 AS RECORDING NO. 2000-0108499 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

ITEMS #1'S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

JEFFERY L. MAYS
L.S. NO. 6379

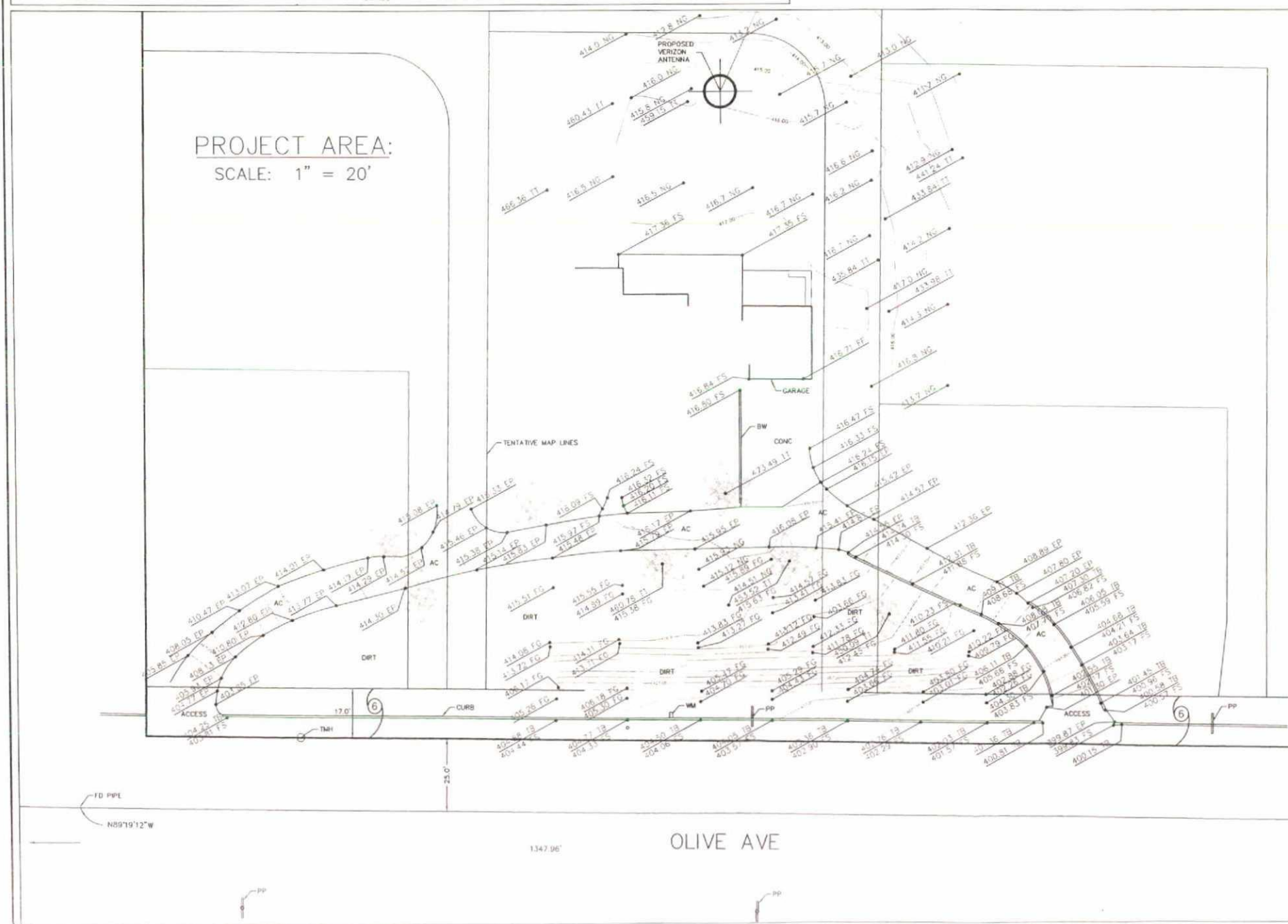


LEGEND:

AC - ASPHALTIC CONCRETE
BW - BLOCK WALL
CONC - CONCRETE
E - EAST
EST - ESTABLISHED
EP - EDGE OF PAVEMENT
FD - FOUND
FG - FINISH GROUND
FS - FINISH SURFACE
IP - IRON PIPE
MON - MONUMENTS
L&T - LEAD AND TACK
N - NORTH
PL - PROPERTY LINE
PP - POWER POLE
S - SOUTH
TMH - TELEPHONE MANHOLE
TT - TOP OF TREE
W - WEST
WM - WATER METER

PROJECT AREA:

SCALE: 1" = 20'



BOOTH & SUAREZ
ARCHITECTURE :: PLANNING
WILLIAM H. BOOTH ARCHITECT ROBERT A. SUAREZ ARCHITECT
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PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

CONSULTANT

JRN
CIVIL ENGINEERS
232 AVENIDA FABRICANTE,
SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

PROJECT NAME
OLIVE / GRAPEVINE
OLIVE SD
1505 OLIVE AVE
VISTA, CALIFORNIA 92083
SAN DIEGO COUNTY

DRAWING DATES

SHEET TITLE
TOPOGRAPHIC SURVEY

PROJECTS\VERIZON\13141 ACM

C1